



BATH TOWNSHIP ZONING

Summit County, Ohio

3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188

Phone: 330.666.4007 - Fax: 330.666.0305

www.bathtownship.org

ZONING VARIANCE APPLICATION

For office use only:	ARC File No.: <u>26-09</u>	BZA File No.:
Associated permits:		

Applicant Data

Name: Joe Chiera

Company Name: Impact Remodeling

Address: 1410 Medina Rd. Medina OH 44256

Telephone No.: 330 388-2214 Email: jchiera@impactmylandscape.com

Property Data

Zoning District: (circle one) R-1 R-2 R-3 R-4 B-1 B-2 B-3 B-4 B-5

Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.

Property Address: 4773 Barnsleigh Dr. Parcel No.: 0405891

Allotment Name: Arbor Green Lot No.: 58

Owner(s): Justin Alaburck

Owner Address: 4773 Barnsleigh Dr.

Telephone No.: 330 388-2214

Variance(s) Requested

Below list the specific section from the Zoning Resolution from which the variance is being sought along with a description of each variance. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: _____ Description: Permission to exceed total sq. ft. for detached addition

2. Section: _____ Description: _____

3. Section: _____ Description: _____

4. Section: _____ Description: _____


Contiguous Property Owners

The Township will notify all property owners within a 300' buffer of the parcel in question.

Required Site Plan Data and Architectural/Construction Drawings

1. Six (6) copies of site plan and plans along with a digital copy (ex: .pdf) of site plan and plans (11 x 17 preferred). The site plan must show the following:
 - A North arrow and scale
 - Existing structures and dimensions
 - Driveway and road access locations (existing and/or proposed)
 - Proposed structure(s) and dimensions
 - All setbacks
 - Roads
 - Lot dimensions
 - Easements and details
 - Septic system and well location (if applicable)
 - Indicate the location of lakes, ponds, wetlands, ravines, or other unusual topography
 - Riparian Corridor(s) must be clearly indicated on all lots containing applicable watercourses
 - All slopes greater than 18% must be indicated on a two (2) foot contour interval map with the contours extending at least 100 feet beyond the lot lines
2. If applicable, Six (6) copies of the building/construction plans along with a digital copy (ex: .pdf) showing major details including height data must be submitted with the application (11 x 17 preferred).
3. The "Bath Township Area Variance Supplemental Form" shall be filled out completely for each variance requested.
4. Digital copy of all required documents (i.e. emailed .pdf file)

Applicant Certification

Applicant Signature:  Date: 5-18-26

Fee - due at time of application (make check payable to Bath Township Trustees)

- for residential applications - two hundred and fifty dollars (\$250.00)
- for commercial/business applications - three hundred and fifty dollars (\$350.00)
- for major subdivisions or use variances - five hundred dollars (\$500.00)

For Office Use Only

Appearance Review Commission File No.: ARC - -

Board of Zoning Appeals File No.: BZA - -

Hearing Date: _____ Public Notice Date: _____

Published In: _____ Abutting Property Owners Notification Date: _____

- Approved Approved with Conditions Denied

Comments: _____

Zoning Inspector Signature: _____ Date: _____



BATH TOWNSHIP AREA VARIANCE SUPPLEMENTAL FORM

PROJECT OVERVIEW

Provide an overview of the project:

Adding a 22' x 16' addition onto
 existing 1500 sq. ft. addition to allow
 homeowner to have his kids do
 pickup in the facility

PRACTICAL DIFFICULTIES

The following factors shall be considered and weighed by the BZA to determine practical difficulty. If a factor is not applicable, please note that factor as "Not Applicable":

- A. Explain special conditions or circumstances that exist which are peculiar to your land or structure involved and which are not applicable generally to other lands or structures in the same Zoning District. (Examples of this are: exceptional irregularity, narrowness, shallowness or steepness of the lot, or adjacency to nonconforming and inharmonious uses, structures or conditions):

None really

- B. Explain how the property in question would not yield a reasonable return on investment or there could not be any beneficial use of the property without the variance.

this would allow their kids to pickup
 in the structure

- C. Explain whether the variance is substantial or not:

Substantial because this is not affecting
 any of the neighbors in a negative way
 and allow the homeowner to enjoy their
 property more

D. Explain whether the essential character of the neighborhood would be substantially altered or if adjoining properties would suffer a substantial detriment as a result of the variance.

No negative affects

E. Explain whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, street services.)

No

F. Did the applicant purchase the property with or without knowledge of the applicable zoning restriction?

w. thout

G. Explain whether the special conditions or circumstances (listed in response to question A above) were a result of actions of the applicant or prior owners.

No

H. Demonstrate whether the applicant's predicament feasibly can be resolved through a method other than a variance (e.g., a zone-conforming but unworkable example, or by minimizing the variance).

*No they need 66'
feet total length*

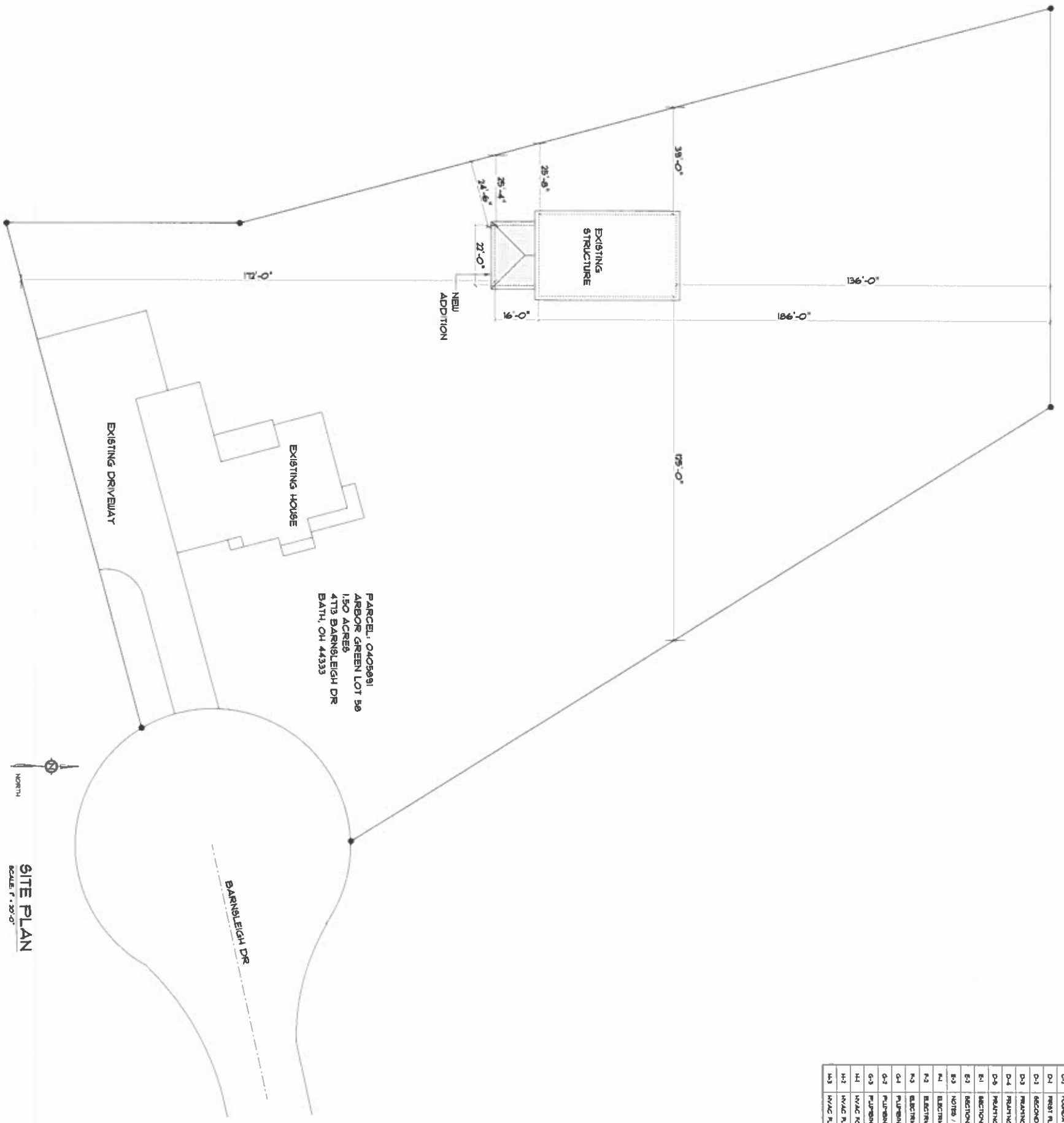
- I. Explain whether the spirit and intent behind the zoning requirement would be observed and/or substantial justice done by granting the variance.

Yes this is not asking for a
major alteration to current zoning code.

**No single factor listed above may control, and not all factors may be applicable in each case. Each case shall be determined on its own facts.*

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2	SITE PLAN
3	LANDSCAPING PLAN
4	ELEVATIONS
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7	ELEVATIONS
8	FOUNDATION PLAN
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13	FRAMING PLAN
14	SECTION / DETAILS
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16	NOTES / SCHEDULES
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18	ELECTRICAL FLOOR PLAN
19	ELECTRICAL FLOOR PLAN
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33	ELECTRICAL FLOOR PLAN
34	ELECTRICAL FLOOR PLAN



PARCEL: 040561
 ARBOR GREEN LOT 59
 1.50 ACRES
 4779 BARNBLEIGH DR
 BATH, OH 44333

SITE PLAN
 SCALE: 1" = 20'-0"

GENERAL NOTES:
 1. ALL SETBACKS AND REQUIREMENTS SHALL BE VERIFIED BY THE CONTRACTOR.
 2. THE SETBACKS SHALL BE VERIFIED BY THE CONTRACTOR.
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SITE STANDARDS:
 1. SITE PLAN FOR PERMITS & BIDDING PURPOSES ONLY.
 2. SITE CONDITION TO BE VERIFIED BY CONTRACTOR.
 3. SOIL BEARING CAPACITY TO BE VERIFIED.
 4. EXCAVATION OF FOUNDATION AND BACKFILL.
 5. ROUGH & FINISH GRADING OF DISTURBED AREAS.
 6. FLOOR GRADE ADJUST FROM BLDG. * 6" TO ELEV. 10'.
 7. FORM SUEDES TO CARRY WATER AWAY FROM BLDG.
 8. CONCRETE PORCHES, STEPS, SIDEWALK TO DRIVE.

DATE: APRIL 29, 2023
 SCALE: AS NOTED
 60 FT
 FIN. BERT: 307
 1st FLOOR: 307
 2nd FLOOR: 307
 TOTAL: 307

DESIGN AND BLUEPRINTS
 (330) 447 4348

DRAFTING

PROFESSIONAL SEAL AND SIGNATURE OF ARCHITECT

SITE LEGEND:
 LOT LINE
 SET BACK LINE
 EXISTENT
 CONCRETE SLAB
 ROOF FITCH
 FLOOR DRAIN
 PLUMBING LINE
 PLUMBING DROP
 FUSE
 4" x 4" PLASTER
 7" BLOCK LEVOR
 ELECTRICAL LINE
 ROUND COLUMN
 SQUARE COLUMN

PLAN: SITE PLAN
 PAGE: A-1

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GENERAL NOTES:

1. ELEVATIONS TO BE SET BY CONTRACTOR
2. DIMENSIONS ARE NOT SHOWN FOR CLARITY
3. ROOF PENETRATIONS TO BE KEPT TO REAR
4. PROVIDE ALL APPROPRIATE FLASHINGS
5. PROVIDE ALL APPROPRIATE SADDLES, CRICKETS
6. REMOVE EXISTING BRICKWORK
7. MATCH EXISTING BRICKWORK
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ELEVATION LEGEND:

LOT LINE

SET BACK LINE

EASIMENT

CONCRETE SLAB

REVISION MARKERS

ROOF PITCH

FLOOR DRAIN

PLUMBING LINE

PLUMBING DROP

6" x 4" PLASTER

7" BLOCK LEDGE

ELECTRICAL LINE

ROUND COLUMN

SQUARE COLUMN

DATE: APRIL 28, 2025

SCALE: 1/4" = 1'-0" / 1/8" = 4'-0"

60 FT.

80 FT.

100 FT.

120 FT.

140 FT.

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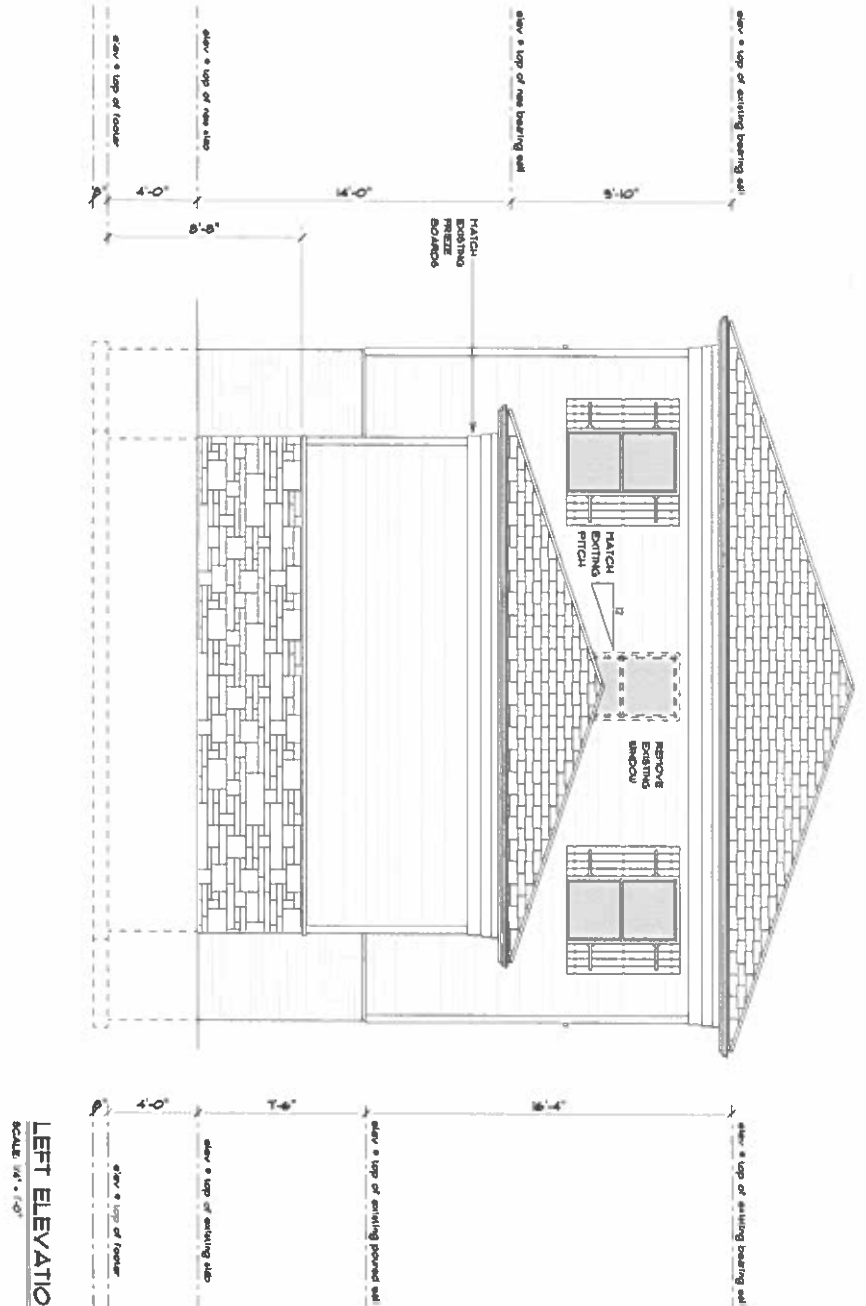
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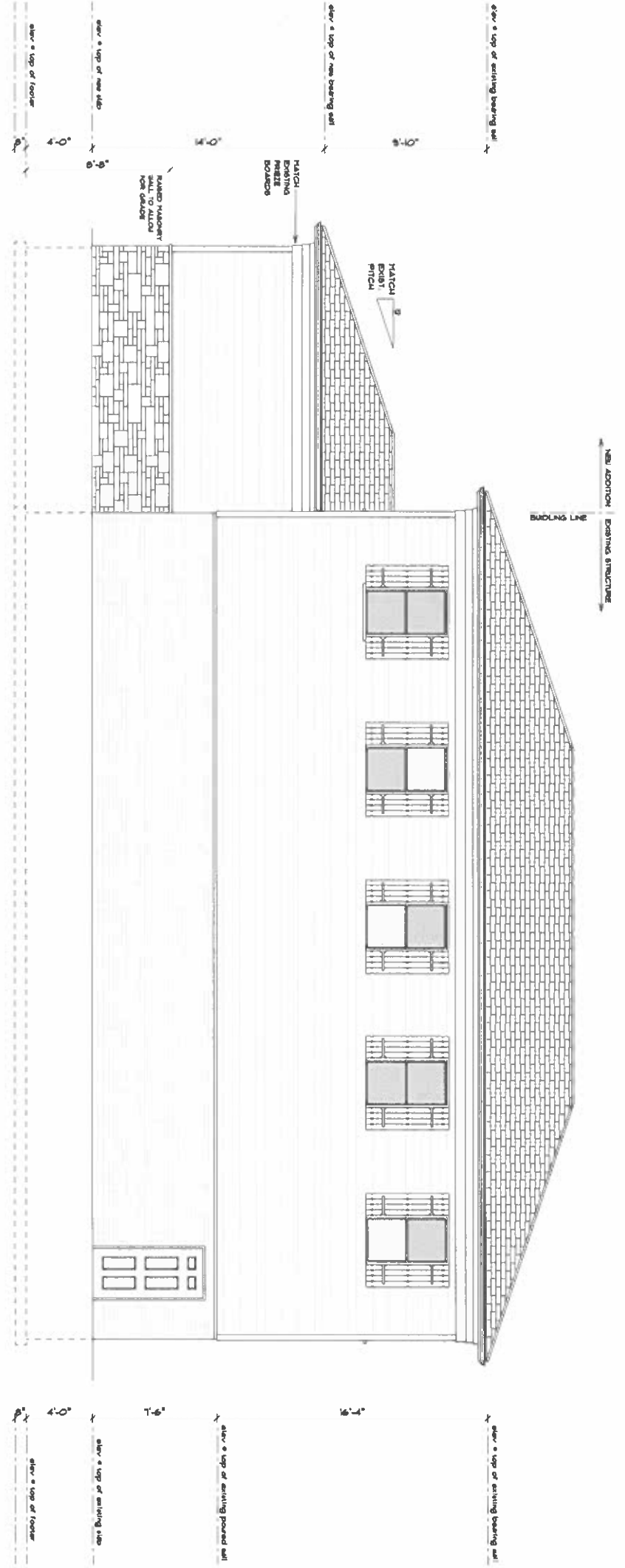
460 FT.

480 FT.

500 FT.



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATION STANDARDS:

- ELEVATIONS TO BE SET BY CONTRACTOR
- DOWNSPOUTS ARE NOT SHOWN FOR CLARITY
- ROOF PENETRATIONS TO BE KEPT TO REAR
- PROVIDE ATTIC VENTILATION PER LOCAL CODE
- PROVIDE ALL APPROPRIATE FLASHING
- PROVIDE ALL APPROPRIATE SADDLES, CRICKETS

DRAWING PREPARED FOR:
 CUSTOMER: JAMES L. BARNES ALABAMA
 4170 BARNES RD
 BAY, OH 44333
 BUILDING ADDRESS: 4170 BARNES RD
 BAY, OH 44333

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 PROFESSIONAL SEAL: _____
 TITLE: ARCHITECT



(330) 447 4348
 DRAFTING
 DESIGN AND
 BLUEPRINTS
 KALENTZ & ASSOCIATES, LLC

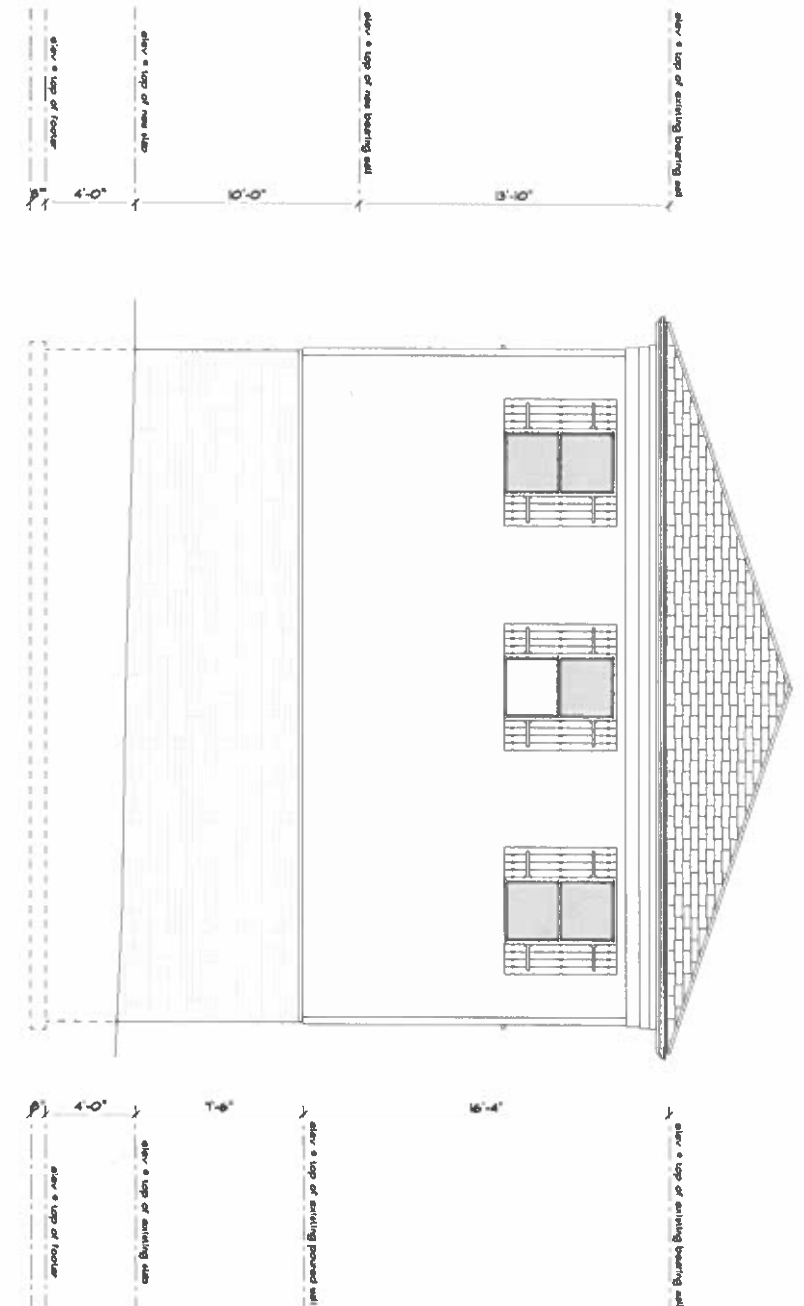
ELEVATION LEGEND:

LOT LINE	
SET BACK LINE	
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ROOF PITCH	
FLOOR DRAIN	
PLUMBING LINE	
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RAIL	
6" X 4" PLASTER	
2" BLOCK LEAD	
ELECTRICAL LINE	
ROAD COLUMN	
SQUARE COLUMN	

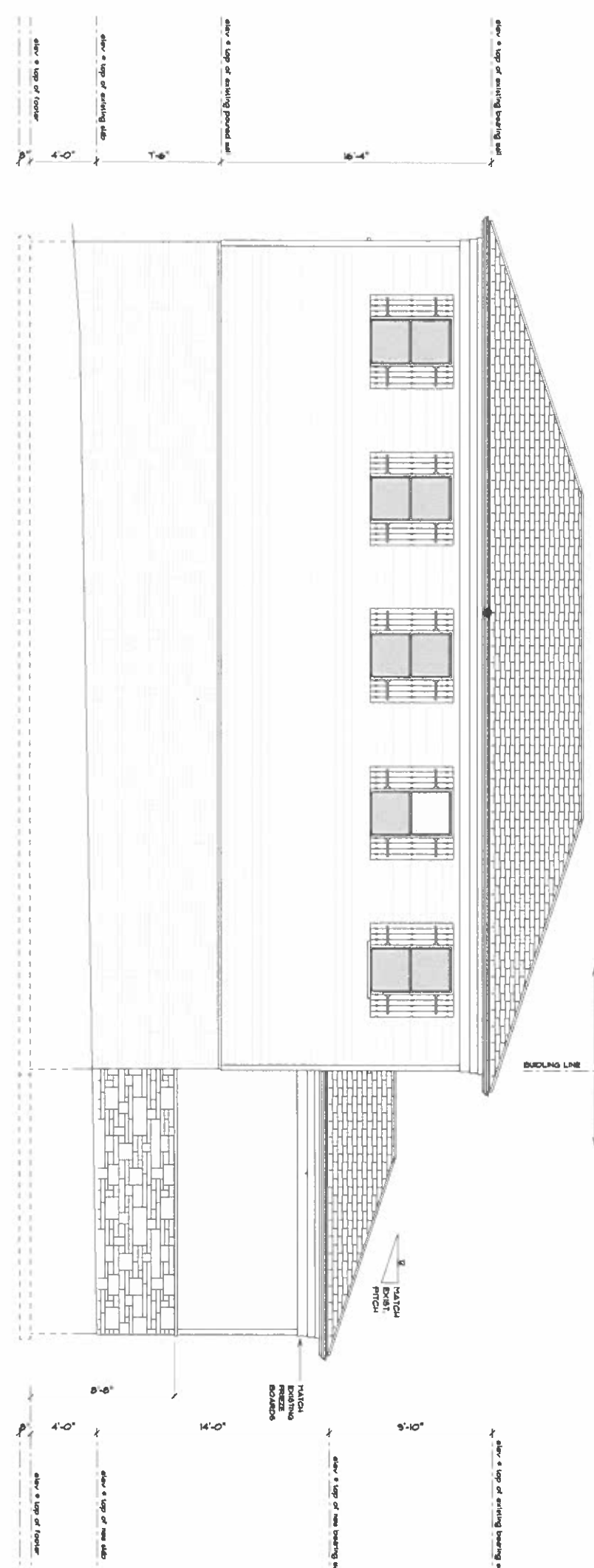
DATE: APRIL 28, 2025
 SCALE: 1/4" = 1'-0" / 1/8" = 1'-0"
 NO. FT. 302
 1st FLOOR 302
 2nd FLOOR 302
 TOTAL 302

PLAN:
ELEVATIONS

PAGE:
B-2



RIGHT ELEVATION
 SCALE 1/4" = 1'-0"



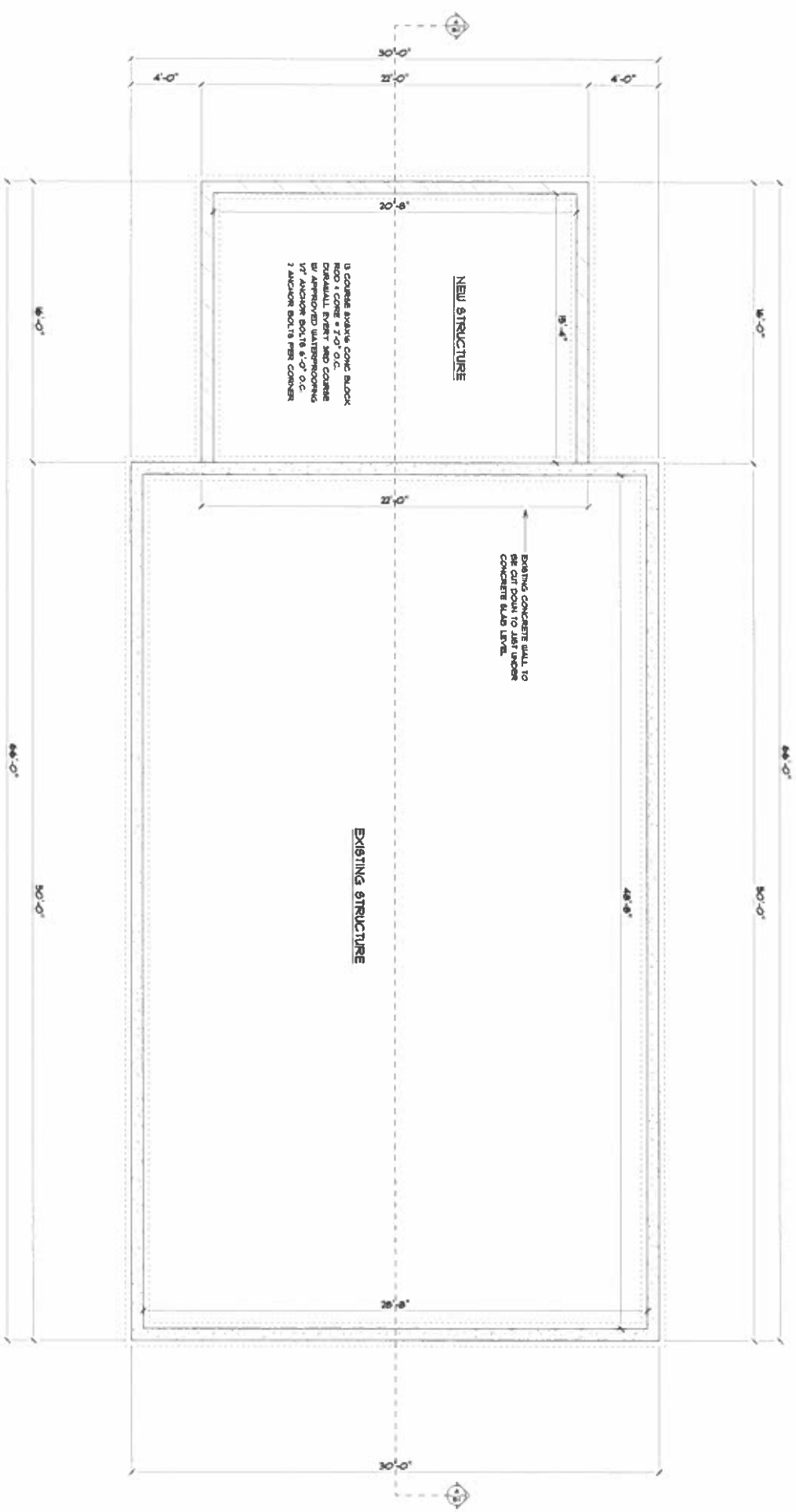
REAR ELEVATION
 SCALE 1/4" = 1'-0"

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GENERAL NOTES:

- FOUNDATION STANDARDS:**
1. CONTRACTOR TO VERIFY SOIL BEARING CONDITIONS
 2. PROVIDE ABSOLUTE WALL BRACING AT BACKFILL
 3. CONCRETE FOOTERS 16" x 8" (UNLESS NOTED)
 4. CONCRETE BLOCK WALLS 8" (UNLESS NOTED)
 5. 12 COURSES OF CONCRETE BLOCK (UNLESS NOTED)
 6. R.O.C. CONCRETE BLOCK WALLS 8" O.C. (UNLESS NOTED)
 7. WALLS COATED WITH POLYMER WATERPROOFING
 8. 1/2" ANCHOR BOLTS 4'-0" O.C. (1 PER CORNER (UNLESS NOTED))
 9. 1/2" ANCHOR BOLTS - BOTH SIDES OF ALL OPENINGS
 10. 30" x 30" x 1/2" CONCRETE FOOT PADS (UNLESS NOTED)
 11. 4" INTERIOR AND EXTERIOR FOOTER DRAINS
 12. 8" x 8" x 4" BEAM POCKETS (UNLESS NOTED)
 13. 16" x 4" BEAM PLASTER
 14. PROVIDE TERRITE PROTECTION PER LOCAL CODE
 15. 16" x 7'6" CONC. BLOCK SLAB LEDGES 4'-0" O.C.
 16. 3" ADJUSTABLE HOMO POINTS (UNLESS NOTED)
 17. ENCASED STEEL BEAMS (UNLESS NOTED)
 18. 5" GRANULAR SLAB BASE WITH VAPOR BARRIER
 19. 4" CONCRETE SLAB WITH 6MS WITH
 20. PROVIDE DEEP JOINT FILLT. & SLABS 1" THICKNESS
 21. PROVIDE DEEP SCORE CONTROL JOINTS ALL SLABS



FOUNDATION LEGEND:

LOT LINE	---
SET BACK LINE	---
BASEMENT	---
CONCRETE SLAB	---
ROOF PITCH	---
FLOOR DRAIN	---
PLUMBING LINE	---
PLUMBING DROP	---
RULE	---
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROUND COLUMN	---
SQUARE COLUMN	---

FOUNDATION PLAN:

DATE: APRIL 28, 2015
 SCALE: 1/4" = 1'-0" (UNLESS NOTED)
 SHEET: 302
 IN FLOOR: 302
 2ND FLOOR: 302
 TOTAL: 302

FOUNDATION

REVISIONS AND BLUEPRINTS

DATE:

PROFESSIONAL DRAWING BY:

MARK VANDANT

VANVAANT DESIGN

(330) 447 4348

DRAFTING

REGION AND BLUEPRINTS

MARKET & COMMERCIAL ART

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION LEGEND:

LOT LINE	---
SET BACK LINE	---
BASEMENT	---
CONCRETE SLAB	---
ROOF PITCH	---
FLOOR DRAIN	---
PLUMBING LINE	---
PLUMBING DROP	---
RULE	---
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROUND COLUMN	---
SQUARE COLUMN	---

FOUNDATION PLAN:

DATE: APRIL 28, 2015
 SCALE: 1/4" = 1'-0" (UNLESS NOTED)
 SHEET: 302
 IN FLOOR: 302
 2ND FLOOR: 302
 TOTAL: 302

FOUNDATION

REVISIONS AND BLUEPRINTS

DATE:

PROFESSIONAL DRAWING BY:

MARK VANDANT

VANVAANT DESIGN

(330) 447 4348

DRAFTING

REGION AND BLUEPRINTS

MARKET & COMMERCIAL ART

DRAWING PREPARED FOR:

CUSTOMER:

JAMIN & BRUNNER ALBERDA

BLVD. ON 4133

BUILDING ADDRESS:

470 BARNARDSON DR

BLVD. ON 4133

CUSTOMER PLAN:

APPROVED SIGNATURES:

DATE:

DATE:

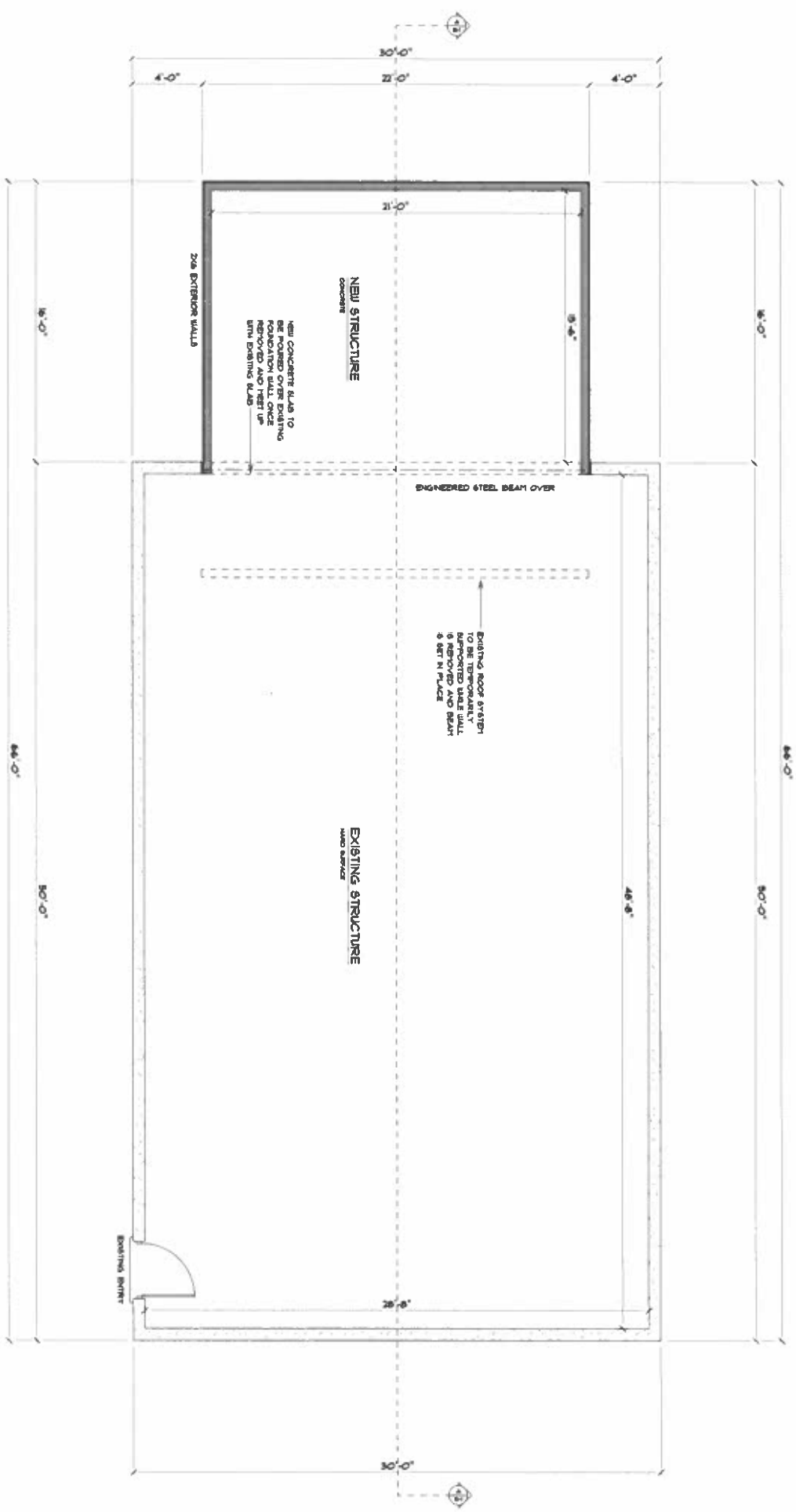
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GENERAL NOTES:

FRAMING STANDARDS:

- FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
- EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF BRIS.
- INT. DIMENSIONS SHOWN ARE TO ROUNI FRAME
- 2X6 SILL PLATE (UNLESS NOTED)
- 2X10 FLOOR JOISTS @ 16" O.C. UNLESS NOTED (I.N.)
- 3/4" T&G OSB SUBFLOOR (UNLESS NOTED) (I.N.)
- 2X4 STUD WALLS @ 16" O.C. W/ DBL. TOP PLATE (I.N.)
- 2X10 EXTERIOR DOOR / WINDOW HEADERS (I.N.)
- 1/2" OSB WALL SHEATHING (I.N.)
- 2X4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (I.N.)
- 1/2" OSB ROOF SHEATHING W/ APPROVED CLIPS (I.N.)
- ROOF BLOCKING @ ALL HORIZONTAL LOCATIONS
- WINDOWS TO MEET PROPER ENERGY REGULATIONS
- USE PROPER METAL HANGERS & CLIPS AS NEEDED
- DOUBLE END JOIST OVER BRST UNDOOR UNBRACED
- ALL BALLOON RAISED WALLS TO BE 2X6 (I.N.)
- 2X6 BATTENS AND RACES (I.N.)
- 1" OVERBRANDS AND RACES (I.N.)



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

LOT LINE	
SET BACK LINE	
EASEMENT	
CONCRETE SLAB	
ROOF PITCH	
FLOOR DRAIN	
PLUMBING LINE	
PLUMBING DROP	
FLUE	
6" X 4" PLASTER	
7" BLOCK LEAD	
ELECTRICAL LINE	
ROUND COLUMN	
SQUARE COLUMN	

DATE: APRIL 26, 2025
SCALE: 1/4" = 1'-0" (I.N.)
SHEET: 302
NO. FLOOR: 1
TOTAL: 307

PLAN:
FLOOR PLAN

PAGE:
D-1

VARIANT DESIGNER

(330) 447 4348

DRAFTING DESIGN AND BLUEPRINTS

PROFESSIONAL DRAWING BY:
MARK YANZANI

CUSTOMER PLAN APPROVED SIGNATURE:
DATE: _____

DRAWING PREPARED FOR:
CUSTOMER: ANITA BIRLA LAURENZA
1401 W. BIRLA DR.
BAYTON, OH 44333

BUILDING APPROVED SIGNATURE:
DATE: APRIL 26, 2025

REVISIONS:

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GENERAL NOTE:

1. THE SET OF PLANS AND SPECIFICATIONS SHALL BE USED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.

FRAMING STANDARDS:

- FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
- EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF BRG.
- INT. DIMENSIONS SHOWN ARE TO RIGID FRAME
- 2x6 SILL PLATE (UNLESS NOTED)
- 2x10 FLOOR JOISTS @ 16" O.C. UNLESS NOTED (I.N.L.)
- 3/4" T&G OSB SUBFLOOR (GLUED & SCREWED (I.N.L.))
- 2x4 STUD WALLS @ 16" O.C. W/ DEL. TOP PLATE (I.N.L.)
- 2x10 EXTERIOR DOOR / WINDOW HEADERS (I.N.L.)
- 2x6 OSB WALL SHEATHING (I.N.L.)
- 2x4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (I.N.L.)
- 1/2" OSB ROOF SHEATHING W/ APPROVED CLIPS (I.N.L.)
- FOUR BLOCKING @ ALL HANDRAIL LOCATIONS
- WINDOWS TO MEET PROPER EGRESS REGULATIONS
- USE PROPER METAL HANGERS & CLIPS AS NEEDED
- DOUBLE MET JOIST OVER BRGHT WINDOW HANGERS
- ALL BALLOON RELATED WALLS TO BE 2x6 (I.N.L.)
- 2x6 SUB-FASCIA AND RAKES (I.N.L.)
- 17" OVERHANGS AND RAKES (I.N.L.)

FRAMING LEGEND:

LOT LINE	---
LOT PIN	○
SET BACK LINE	---
EASEMENT	---
CONCRETE SLAB	▒
ROOF PITCH	▒
FLOOR DRAIN	○
PLUMBING LINE	---
PLUMBING DROP	○
PLUE	○
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROAD COLUMN	○
SQUARE COLUMN	□

FRAMING PLAN:

DATE: APRIL 28, 2025
 SCALE: 1/4" = 1'-0" (I.N.L.)
 PG. PART: 3/3
 NO. FLOOR: 3/3
 TOTAL: 3/3

FRAMING STANDARDS:

- FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
- EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF BRG.
- INT. DIMENSIONS SHOWN ARE TO RIGID FRAME
- 2x6 SILL PLATE (UNLESS NOTED)
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- 3/4" T&G OSB SUBFLOOR (GLUED & SCREWED (I.N.L.))
- 2x4 STUD WALLS @ 16" O.C. W/ DEL. TOP PLATE (I.N.L.)
- 2x10 EXTERIOR DOOR / WINDOW HEADERS (I.N.L.)
- 2x6 OSB WALL SHEATHING (I.N.L.)
- 2x4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (I.N.L.)
- 1/2" OSB ROOF SHEATHING W/ APPROVED CLIPS (I.N.L.)
- FOUR BLOCKING @ ALL HANDRAIL LOCATIONS
- WINDOWS TO MEET PROPER EGRESS REGULATIONS
- USE PROPER METAL HANGERS & CLIPS AS NEEDED
- DOUBLE MET JOIST OVER BRGHT WINDOW HANGERS
- ALL BALLOON RELATED WALLS TO BE 2x6 (I.N.L.)
- 2x6 SUB-FASCIA AND RAKES (I.N.L.)
- 17" OVERHANGS AND RAKES (I.N.L.)

FRAMING LEGEND:

LOT LINE	---
LOT PIN	○
SET BACK LINE	---
EASEMENT	---
CONCRETE SLAB	▒
ROOF PITCH	▒
FLOOR DRAIN	○
PLUMBING LINE	---
PLUMBING DROP	○
PLUE	○
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROAD COLUMN	○
SQUARE COLUMN	□

FRAMING PLAN:

DATE: APRIL 28, 2025
 SCALE: 1/4" = 1'-0" (I.N.L.)
 PG. PART: 3/3
 NO. FLOOR: 3/3
 TOTAL: 3/3

FRAMING STANDARDS:

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- 2x10 EXTERIOR DOOR / WINDOW HEADERS (I.N.L.)
- 2x6 OSB WALL SHEATHING (I.N.L.)
- 2x4 TRUSS SYSTEM @ 24" O.C. UNLESS NOTED (I.N.L.)
- 1/2" OSB ROOF SHEATHING W/ APPROVED CLIPS (I.N.L.)
- FOUR BLOCKING @ ALL HANDRAIL LOCATIONS
- WINDOWS TO MEET PROPER EGRESS REGULATIONS
- USE PROPER METAL HANGERS & CLIPS AS NEEDED
- DOUBLE MET JOIST OVER BRGHT WINDOW HANGERS
- ALL BALLOON RELATED WALLS TO BE 2x6 (I.N.L.)
- 2x6 SUB-FASCIA AND RAKES (I.N.L.)
- 17" OVERHANGS AND RAKES (I.N.L.)

FRAMING LEGEND:

LOT LINE	---
LOT PIN	○
SET BACK LINE	---
EASEMENT	---
CONCRETE SLAB	▒
ROOF PITCH	▒
FLOOR DRAIN	○
PLUMBING LINE	---
PLUMBING DROP	○
PLUE	○
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROAD COLUMN	○
SQUARE COLUMN	□

FRAMING PLAN:

DATE: APRIL 28, 2025
 SCALE: 1/4" = 1'-0" (I.N.L.)
 PG. PART: 3/3
 NO. FLOOR: 3/3
 TOTAL: 3/3

FRAMING STANDARDS:

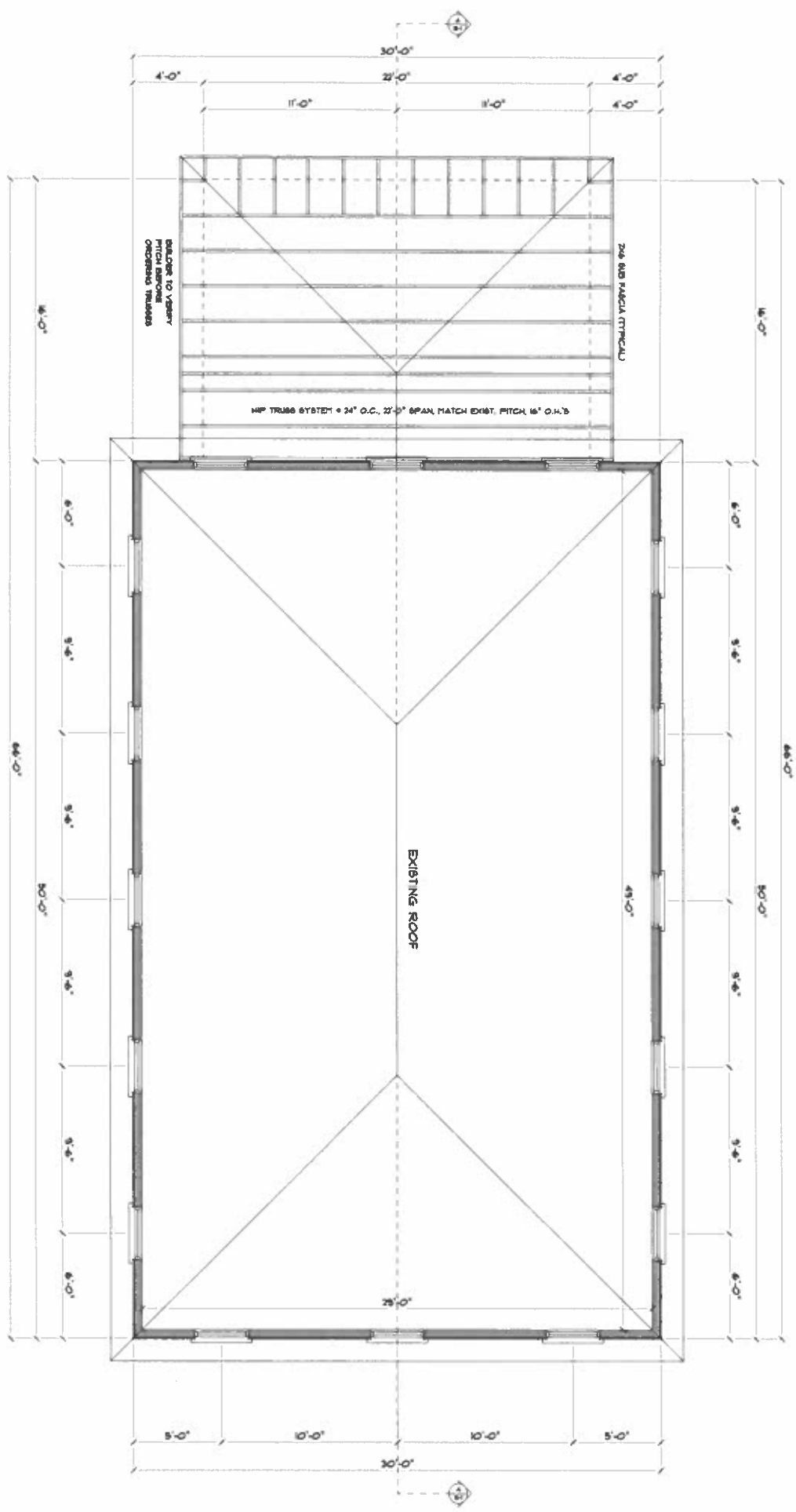
- FRAMING LOADS TO BE VERIFIED BY CONTRACTOR
- EXT. DIMENSIONS SHOWN ARE TO OUTSIDE OF BRG.
- INT. DIMENSIONS SHOWN ARE TO RIGID FRAME
- 2x6 SILL PLATE (UNLESS NOTED)
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- USE PROPER METAL HANGERS & CLIPS AS NEEDED
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- 17" OVERHANGS AND RAKES (I.N.L.)

FRAMING LEGEND:

LOT LINE	---
LOT PIN	○
SET BACK LINE	---
EASEMENT	---
CONCRETE SLAB	▒
ROOF PITCH	▒
FLOOR DRAIN	○
PLUMBING LINE	---
PLUMBING DROP	○
PLUE	○
6" x 4" PLASTER	---
2" BLOCK LEDGE	---
ELECTRICAL LINE	---
ROAD COLUMN	○
SQUARE COLUMN	□

FRAMING PLAN:

DATE: APRIL 28, 2025
 SCALE: 1/4" = 1'-0" (I.N.L.)
 PG. PART: 3/3
 NO. FLOOR: 3/3
 TOTAL: 3/3



UPPER WALL / ROOF PLAN
 SCALE: 1/4" = 1'-0"

